



BENSALEM TOWNSHIP

Building and Planning Department
2400 Byberry Road • Bensalem PA 19020
215-633-3644 • FAX 215-633-3653

Exhibit Z-4

Zoning Hearing Board

Appeal Number: _____

Township of Bensalem, Bucks County, Pennsylvania Notice of Appeal

Appeal is hereby made by the undersigned from the action of the Zoning Officer.

Check applicable item(s):

- ☐ Certification of Non-Conforming Use
- ☐ Application for Validity Challenge
- ☐ Administrative Officer in refusing my application for a building permit dated: _____
- ☐ Special Exception
- ☒ Variance from the terms of the Zoning Ordinance of the Township of Bensalem

Appellant Name: Paramount Realty Services, Inc.

Address: 1195 Route 70, Syute 2000
Lakewood, NJ 08701

Phone No. [REDACTED]

Owner's Name: - Same as Appellant -

Address: _____

Phone No. _____

Attorney Name: Thomas R. Hecker, Esquire

Address: 680 Middletown Boulevard
Langhorne, PA 19047

Phone No. 215-750-0110

Interest of appellant, if not owners (agent, lessee, etc.): _____

1. Application relates to the following:

Check items if applicable:

- | | |
|---|--|
| <input type="checkbox"/> Use | <input type="checkbox"/> Lot Area |
| <input type="checkbox"/> Height | <input type="checkbox"/> Yards |
| <input type="checkbox"/> Existing Building | <input type="checkbox"/> Proposed Building |
| <input type="checkbox"/> Occupancy | |
| <input checked="" type="checkbox"/> Other: (describe) | <u>Number of parking spaces</u> |

2. Brief description of Real Estate affected:

Tax Parcel Number: 02-030-009

Location: 1336 Bristol Pike - Bensalem, Pennsylvania

Lot Size: (29.27 acres)

Present Use: Retail

Proposed Use: Retail

Present Zoning Classification: GC (General Commercial)

Present Improvement upon Land: 305,722 SF of retail space and related parking

Deed recorded at Doylestown in Deed Book 4965 Page 1909

3. If this is an appeal to challenge, provide statement and/or basis for challenge to the validity of the zoning ordinance.

N/A

4. If this is an Appeal from action of the Zoning Administrative Officer then complete the following:

Date Determination was made: _____

Your statement of alleged error of Zoning Administrative Office: N/A

5. Specific reference to section of the Zoning Ordinance upon which application for special exception or variance is based (if special or variance is desired):

Section 232-586(c)(3)

6. Action desired by appellant or applicant (statement of relief sought or special exception or variance desired):

Variance to reduce number of required parking spaces.

7. Reasons appellant believes board should approve desired action (refer to section or sections of ordinance under which it is felt that desired action may be allowed, and not whether hardship is (or is not) claimed, and the specific hardship.

Because of the types of uses existing and proposed, the number of spaces being provided is more than sufficient as it equates to approximately 4.5 spaces/per 1000 SF for a major shopping center.

8. Has previous appeal or application for special exception or variance been filed in connection with these premises?

☒ YES ☐ NO

Specifications of errors must state separately the appellant's objections to the action of the zoning administrative office with respect to each question of law and fact which is sought to be reviewed.

I, hereby depose and say that all of the above statements and the statements contained in any papers or plans submitted herewith, are true to the best of my knowledge and belief.

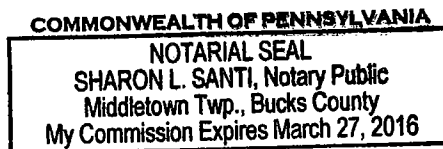
1/12/15
Date

Sworn to and subscribed before me this

12th day of January ~~200~~ 2015

Notary Public

My commission expires: 3/27/2016





PHILADELPHIA, PA | BETHLEHEM, PA | MOUNTAINSIDE, NJ

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M E M O R A N D U M

TO: Mr. Matthew Takita, Director of Building and Planning

FROM: Harold W. Gans, P.E., P.L.S., Township Engineer

DATE: January 8, 2015

RE: **Preliminary & Final Land Development Plans**
Paramount Realty Services
Home Depot Plaza Expansion
TMP #2-30-9
File No. 907.3038.00

A. APPLICATION

Pursuant to Section 201-43 and 201-63 of the Code of the Township of Bensalem, we received and reviewed the above referenced land development plans. The application consisted of a 22-sheet plan-set as prepared by Langan Engineers of Philadelphia, PA. All plans are dated November 21, 2014 with no revisions.

The drawing sequence, drawing number and drawing title are as follows:

1. GI-001 Cover Sheet
2. GI-101 Tax Map, Zoning Map & Adjacent Property Owner's List
3. VT-101 Partial Topographic Survey Plan
4. CD-101 Site Demolition Plan
5. CS-100 Master Site Plan
6. CS-101 Site Construction Plan
7. CS-301 Pavement & Vehicular Circulation Plan
8. CS-501 Site Construction Details
9. CG-101 Grading & Drainage Plan
10. CG-201 Storm Sewer Profiles
11. CG-501 Storm Drainage Construction Details I
12. CG-602 Storm Drainage Construction Details II
13. CE-101 Soil Erosion & Sediment Control Plan – Phase I
14. CE-102 Soil Erosion & Sediment Control Plan – Phase II
15. CE-103 Soil Erosion & Sediment Control Plan – Phase III
16. CE-501 Soil Erosion & Sediment Control Notes & Details
17. CU-101 Utility Plans
18. CU-201 Sanitary Sewer Profiles
19. CU-501 Sewer & Water Construction Notes & Details

- 20. LP-101 Landscape Plan
- 21. LL-101 Lighting Plan
- 22. LL-501 Landscape, Lighting Details & Notes

A report entitled, "Post-Construction Stormwater Management Report for Home Depot Plaza Expansion" was also provided by Langan Engineering.

B. DISCUSSION

The subject site is located at Bristol Pike and Woodhaven Road access ramps. The site is zoned GC - General Commercial and consists of 305,722 sq. ft. of retail space on a 29.27 acre parcel. The main anchor tenants are Home Depot, AMC Movie Theatre and Acme Supermarket. The plans propose the construction of two new retail buildings totaling 25,000 sq. ft. constructed adjacent to the Acme Supermarket. Parking will be realigned and a stormwater management system will be provided.

C. CHAPTER 232 – ZONING

The plans propose 1,482 parking spaces which is less than the required 1,654 parking spaces for a major shopping center. [Section 232-586 (c)(3)]

D. CHAPTER 201 – SUBDIVISION AND LAND DEVELOPMENT

Refer to the Stormwater Management section below and the Township Traffic Engineer's traffic planning and design review of traffic and lighting.

E. STORMWATER MANAGEMENT

The post-development flows as well as water quality requirements will be met. The proposed subsurface 6,195 cubic foot basin storage will be provided by storm tech SC-310 chambers, as well as crushed stone.

It can be seen from the tabulation below that the post-development flows, will be less than the pre-development flows.

STORM FREQUENCY (YRS)	PRE- DEVELOPMENT FLOW (cfs)	POST- DEVELOPMENT FLOW (cfs)
1	5.57	4.51
2	6.89	5.47
5	8.96	7.09
10	10.70	8.48
25	13.23	10.52
50	15.43	14.15
100	17.77	17.34

The stormwater system meets all Bensalem and Department of Environmental Protection stormwater management regulations.

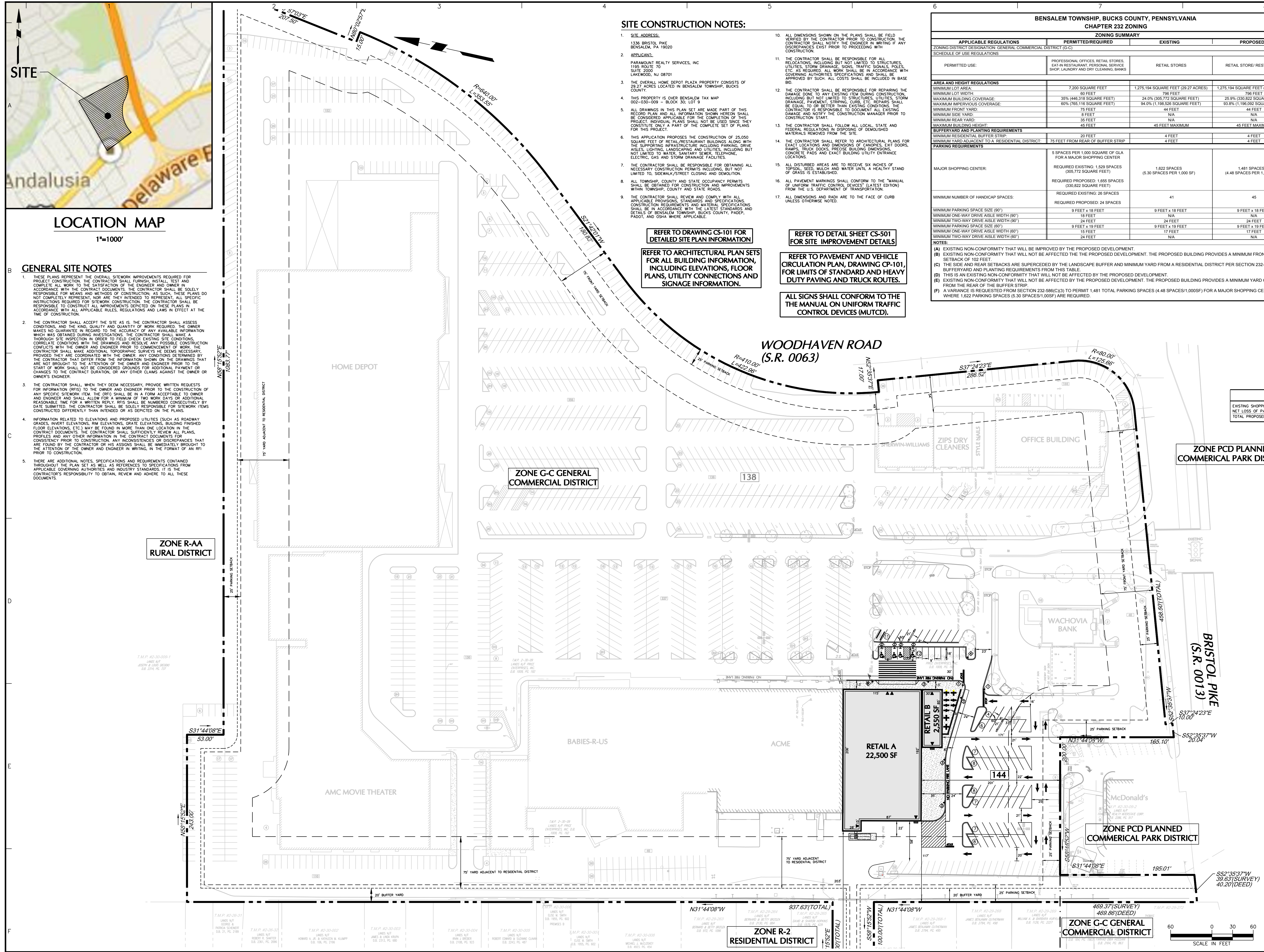
F. SUMMARY

The plans are in position for Preliminary and Final Land Development consideration by the Bensalem Township Planning Commission and the Bensalem Township Council. The applicant should be prepared to address the items in this review, as well as pertinent items from other reviewing agencies.

If you have any questions, please contact me.

cc: Honorable Mayor Joseph DiGirolamo
Ms. Loretta Alston, Bensalem Planning Commission
Mr. Michael Roedig, Bucks County Planning Commission
Paramount Realty Services, Inc., c/o Maurice Zekaria, 1195 Route 70, Suite 2000,
Lakewood, NJ 08701
Mr. Brian Conlon, Langan Engineering & Environmental Services, 30 South 17th Street,
Suite 1300, Phila., PA 19103
Thomas Hecker, Esquire, Begley, Carlin & Mandio

HWG:tar



LEGEND

PROPERTY LINE

BUILDING SETBACK LINE

BUFFER/PAVING LINE

PARKING SETBACK LINE

ZONING BOUNDARY LINE

BUILDING LINE

CURB

33

PROPOSED PARKING SUBTOTAL

33

EXISTING PARKING SUBTOTAL

10

PARKING COUNT

10

EXISTING PARKING COUNT

10

TRAFFIC SIGN

10

CONCRETE

10

TRAFFIC SIGN DESIGNATION

10

DOORWAY

BUILDING SUMMARY

EXISTING BUILDING SF	SZL
HOME DEPOT	110,750 SF
RYAN WAGNER'S MARTIAL ARTS	5,000 SF
PLACE ONE	2,400 SF
U.S. DOLLAR PLUS	2,980 SF
BROWN, McCAUGHAN, INC.	6,860 SF
CREATIVE HANDPRESS INC.	1,300 SF
AMERICAN MULTI-CINEMA INC.	38,078 SF
UNIVERSAL CITY	7,470 SF
BELOUNT COURT DIALYSIS CENTER	633 SF
DR. COHEN	1,292 SF
WOODHAVEN DENTAL	1,635 SF
BEAUMONT DIALYSIS CENTER LLC	7,500 SF
BABY SUPERSTORE INC.	39,264 SF
WOODHAVEN DIALYSIS CENTER, LLC	7,500 SF
ACME MARKETS	37,760 SF
HEVER CLEAN LLC	5,000 SF
BRITNEY HOANG LUONG	1,000 SF
THE SHERMAN WILLIAMS COMPANY	4,800 SF
LOWER BUCKS HOSPITAL	2,560 SF
CORNERSTONE PHYSICAL THERAPY A	2,875 SF
VACANT UNIT	2,659 SF
WELLS FARGO	5,657 SF
PETS PLUS BENSALEM	10,084 SF
WELLS FARGO	4,000 SF
TOTAL EXISTING BUILDING SF:	305,772 SF
PROPOSED RETAIL A BUILDING SF:	22,500 SF
PROPOSED RETAIL B BUILDING SF:	2,550 SF
TOTAL PROPOSED BUILDING SF:	330,822 SF

PARKING SUMMARY

EXISTING SHOPPING CENTER PARKING SPACES:	1,622 SPACES (5.30 SPACES PER 1,000 SF)
NET LOSS OF PARKING SPACES:	= 141 SPACES
TOTAL PROPOSED SHOPPING CENTER:	1,481 SPACES (4.48 SPACES PER 1,000 SF)

Date

Description

No.

REVISIONS

LANGAN

30 South 17th Street, Suite 1300, Philadelphia, PA 19103
T: 215-864-0644 F: 215-864-0671 www.langan.com
NEW JERSEY NEW YORK CONNECTICUT PENNSYLVANIA OHIO
VIRGINIA WASHINGTON DC FLORIDA NORTH DAKOTA CALIFORNIA
ABU DHABI ATHENS DOHA DUBAI ISTANBUL
Langan Engineering, Environmental, Surveying and Landscape Architecture, P.C.
Langan Engineering and Environmental Services, Inc.
Langan CT, Inc.
Langan LLC
Collectively known as Langan

Project

HOME DEPOT PLAZA
EXPANSION

BENSALEM TOWNSHIP
BUCKS COUNTY
Drawing Title

MASTER
SITE PLAN

Project No.
220071601

Drawing No.

Date
21 NOVEMBER 2014

Scale
1"=60'

Drawn By
SAC

Checked By
BMC

CS-100

SHEET 5 OF 22